

## Architectural Review Board Checklist

Please initial all items below to verify that your submittal includes all requirements:

The following items shall be submitted to the Building Department by 11:00 am, no later than 7 days prior to the regularly scheduled meeting. Plans 24" x 36" are preferred and should be folded into individual packets. If plans are not able to be 24" x 36", the smallest size possible is preferred. Plans to scale can be printed in half size.

☒ THREE (3) copies of this application

☒ THREE (3) copies of ARB plans, photographs and documentation arranged into individual packets. At least one set of plans must bear the signatures of subdivision trustees (if applicable). Items without trustee signatures will not be accepted until required signatures are obtained.

☒ ONE PDF copy of all plans that are submitted in hard copy should be emailed to [aquinn@cityofladue-mo.gov](mailto:aquinn@cityofladue-mo.gov). This single PDF should include the application, plan sheets and photographs and any other documentation that the Board should review.

☒ Schematic site plan at a scale of not less than one-inch equals 20 feet including the following:

- Dimensioned property lines,
- Building setback lines,
- Easements identified,
- Existing and proposed area of work,
- Location of driveways and parking areas,
- Topographic contours of the existing grades and proposed finished grades at two-foot interval minimums for a distance 25 feet from the face of the existing and proposed area of work with an indication of direction of flow of storm water. (For new residence and home additions only)
- Location of proposed landscape material (New residence only)
- Landscape material proposed to be removed (New residence only), and
- Identifying any accessory structures proposed or existing.
- Hardscape and greenspace coverage calculations for existing and proposed front, rear, side and overall lot.

☒ Schematic floor plans (at a minimum scale of one-quarter inch equals one foot) showing overall building dimensions. Plans may be printed in half-size.

☒ Building elevations (at a minimum scale of one-quarter inch equals one foot) showing vertical dimensions, fenestration, proposed materials and colors, and any existing construction where an addition or modification is proposed. All existing and proposed building materials shall be indicated on the existing building elevations. Plans may be printed in half-size

☒ Color photographs (8.5x11 inches) of the main building located on adjoining property. Color photographs (8.5x11 inches) of all building elevations of existing structures for projects involving remodeling or additions.



## Application for Architectural Review Board

**\* This application must be filled out completely and signed before submittals are placed on the ARB agenda.**

*The purpose of Architectural Review Board shall be to two-fold; to develop architectural and design guidelines for the City of Ladue in accordance with section 110-70 and to apply those guidelines in reviewing projects within the City as to whether or not the project adheres to such guidelines.*

### APPLICANT INFORMATION

Name of Applicant: Pool Tron, Inc.

Phone #: (314) 428-1971

Email address of Applicant (for review comments): kaushal@pooltron.com

### PROJECT PROPERTY INFORMATION

Address for proposed work: 16 LADUE ROAD

If this ARB application is amending a project that is currently under construction, list permit #: \_\_\_\_\_

Zoning District: "B" Parcel ID # (St. Louis county tax record): 18I130079

DESCRIPTION OF PROPOSED PROJECT: COVERED PAVILION AND BBQ ISLANDS

### Additional Information:

- Professionally sealed plans are not required for ARB review.
- Plans for projects involving alterations and repairs, which do not affect the outward appearance of a building, and existing decks, fences, window replacements and roofing shingle replacements shall not require approval of the Architectural Review Board.
- Revised plans with any changes predicated by the ARB will need to be submitted with the building permit application to the Department of Planning and Development with final trustee approval (if applicable.)
- Projects approved by ARB should be submitted for building permits within 180 days or the ARB approval may become void.

**By signing this application, you acknowledge that by submitting an incomplete application, your petition will not be added to the meeting agenda.**

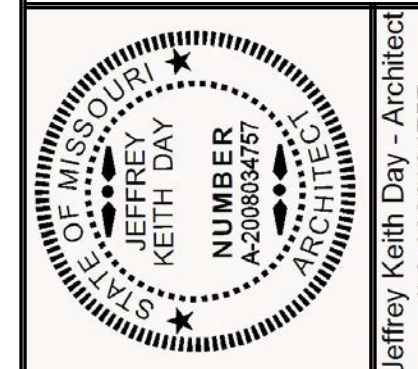
X K. Andley for Pool Tron, Inc. Date: JULY 13, 2022

*\* This application and review for City of Ladue building permitted purposes only. Please be aware of any additional covenants and indentures which may be recorded with your subdivision. Approval of this ARB proposal does not waive any other permit or other authorization by the City that may be required for you to fully complete your proposed project.*



ABBREVIATION LEGEND:	
A.A.	ATTIC ACCESS
ADJ.	ADJUSTABLE
A.F.F.	ABOVE FINISHED FLOOR
ALUM.	ALUMINUM
AMP.	AMPERE
BLK'G	BLOCKING
BM	BEAM
BP	BEAM POCKET
CFA	COLUMN FROM ABOVE
CJ	CONTROL JOINT
CLG	CEILING
CLO	CLOSET
CLR	CLEAR
CO	CASED OPENING
COL	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
CR	CURT
C.R.V.	CONTINUOUS RIDGE VENT
CS-WSP	CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL
CT	CRYER
DBL	DOUBLE
D.B.O.	DESIGNED BY OTHERS
DIA	DIAMETER
DN	DOWN
DR	DOOR
DS	DOWN SPOUT
DV	DIRECT VENT
DW	DISH WASHER
Q.W.O.	QUICK WALL OPENING
EA	EACH
EA. WAY	EACH WAY
EX	EXPANSION JOINT
ELEC	ELECTRIC
ENG	ENGINEERED
EWWD	EXISTING WINDOW
EXT	EXTERIOR
FINLR	FINISHED/FIRST FLOOR
FD	FLOOR DRAIN
FND	FOUNDATION
FINISH	FINISH
FL	FLOOR
FLASH'G	FLASHING
F.P.	FIREPLACE
FRIB	FIRE-PROOF HOSE BIBB
FRZ	FREEZER
F.V.	FIELD VERIFY
GRFUM	GROUNDED BOARD
H.D.	HOLD DOWN
HDR	HEADER
HWD	HARDWOOD
HVAC	HEATING VENTILATION & AIR CONDITIONING
INSUL	INSULATION
J8	JOST
JST	JOST
JLN	JUNEN
LLVL	LOWER LEVEL
L8L	LAMINATED STRAND LUMBER
LGT(S)	LIGHT(S)
LVL	LAMINATED VENEER LUMBER
ML	MILLIMETER
MCM	MICROMILL BEAM
MIN	MINIMUM
MPG	MANUFACTURING
MPR	MANUFACTURER
MTL	METAL
O.C.	ON CENTER
O.H.	OVER HEAD
P.F.	PILE AND SHELF
PCFA	POST, CONTINUOUS FROM ABOVE
PFA	POST FROM ABOVE
PERF	PERFORATED
PL	PLATE
PLYU'D	PLYWOOD
P.T.	PARALLEL BEAM
P.LAM	PRESSURE TREATED PLASTIC LAMINATE
PVB	POLY-VINYL BARRIER
REBAR	REINFORCING BARS
R	RISERS
REF	REFRIGERATOR
SQ. FT.	SQUARE FEET
SQ. FT.	SQUARE FEET
SFLR	SECOND FLOOR
SHGT	SHEATHING
SP'G	SPACING
STL	STEEL
T	SWITCH
T	TREAD
T&B	TOP AND BOTTOM
TMF	TEMPERED
T&G	TONGUE AND GROOVE
T.O.F.	T.O.P. OF FOUNDATION
T.O.P.	TOP OF PLATE
TYP	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
W	WASHER
W	WITH
WUD	WOOD
WUD	WINDOW
WIC	WALK-IN CLOSET
WUF	WELDED WIRE FABRIC

**IMPORTANT NOTE:** DURING CONSTRUCTION, REAL-WORLD CONDITIONS ARE ALWAYS DISCREPANCY THAT DIFFER FROM THE CONSTRUCTION DOCUMENTS, AND DISCREPANCY WILL REQUIRE COORDINATION AND ADJUSTMENTS IN DIMENSIONS, AND THE CONTRACTOR SHALL BE CONFIRMED BY THE DIMENSIONS SHALL BE CONFIRMED BY THE CONTRACTOR. DISCREPANCIES WITH DIMENSIONS SHOULD BE BROUGHT TO THE ATTENTION OF JEFF DAY & ASSOCIATES TO DISCLOSE REMEDIAL ACTION, SUCH CHANGES IN THE SCOPE OF WORK WILL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR.



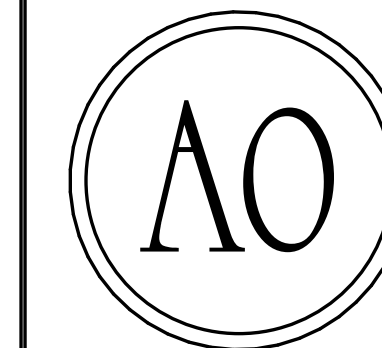
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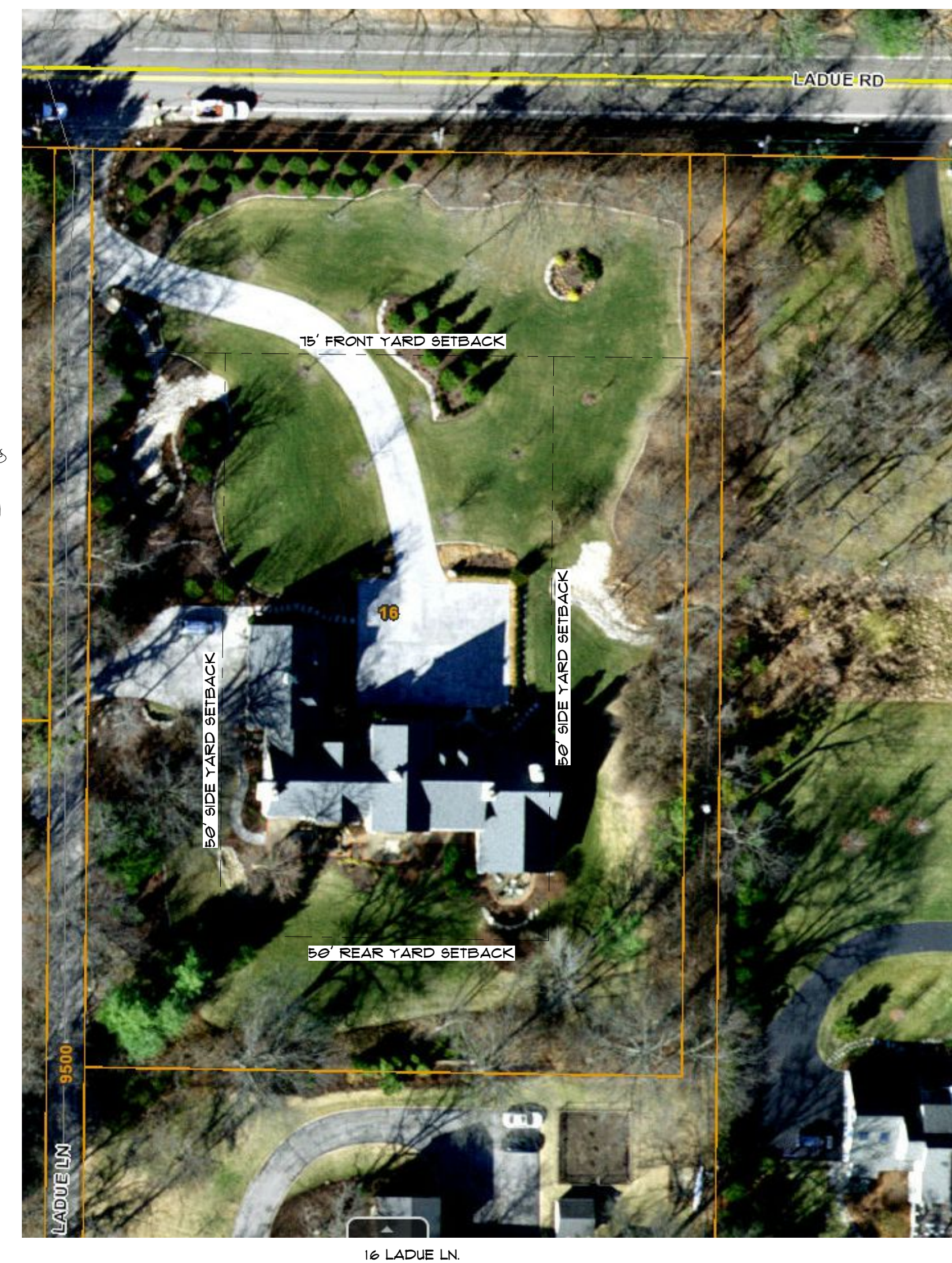
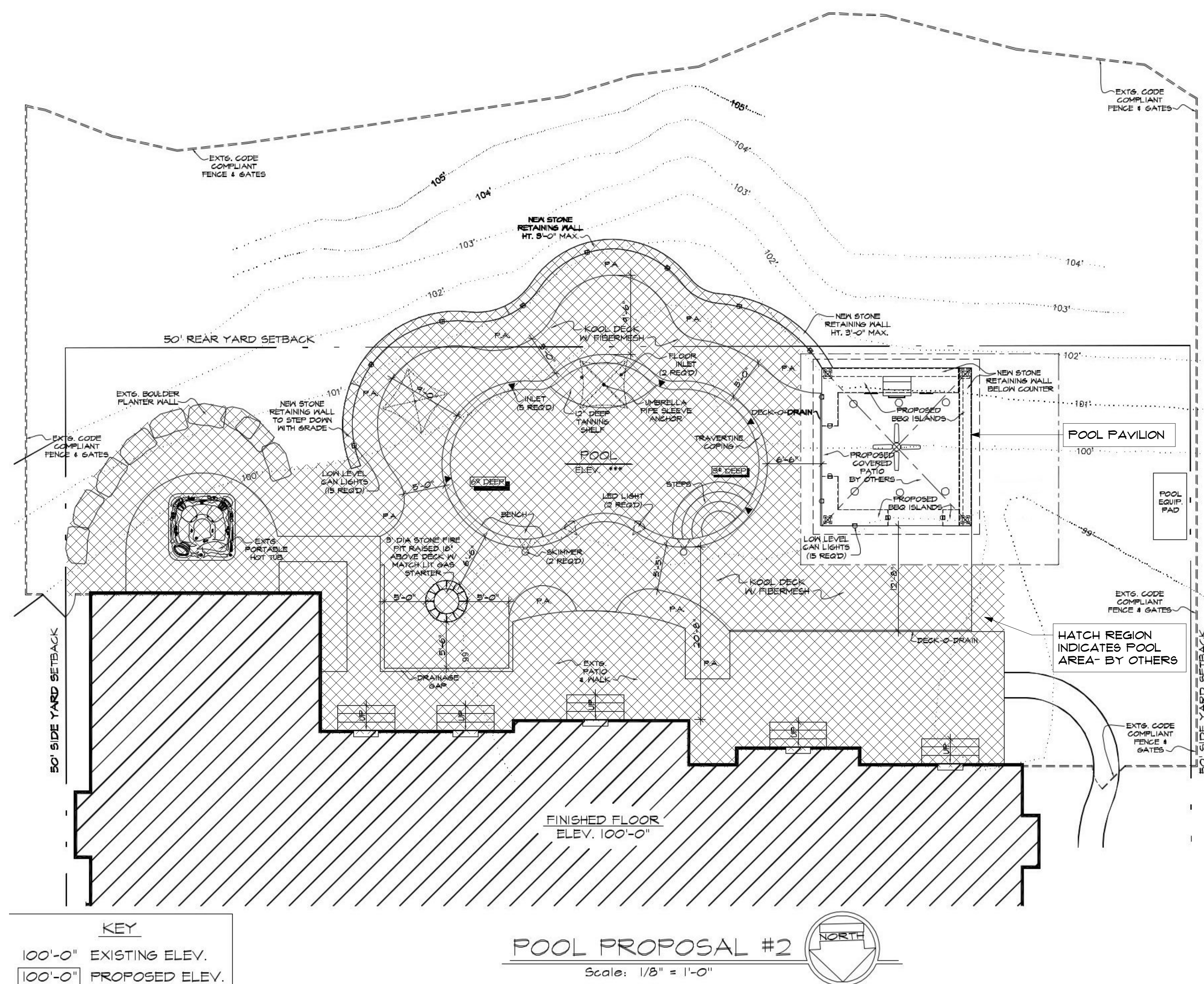
**JEFF DAY**  
ASSOCIATES, INC.  
ARCHITECTURE & PLANNING

Pool Pavilion for:  
16 LADUE LN.  
Ladue, MO 63124

DATE:	07.08.2022	
DRAWN BY:	VVD	
CHECKED BY:	JKD	
REVISED:		
	R1	00.00.00
	R2	00.00.00
	R3	00.00.00



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Missouri State  
Certificate of Authority  
# A-2009027415



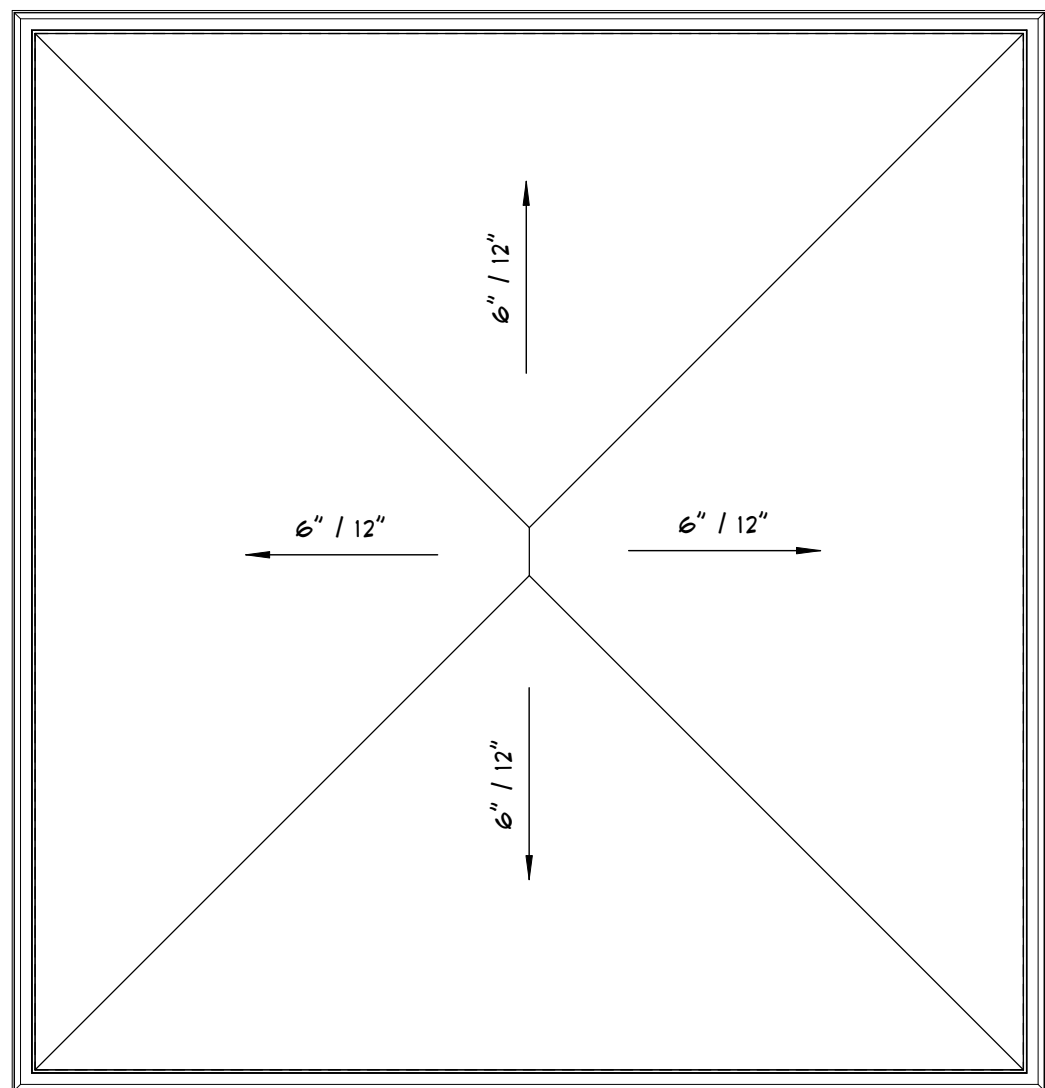
DRAWING INDEX:

- |    |  |
|----|--|
| A0 | LOCATION                                   |
| A1 | PLANS AND DETAILS                          |
| A2 | ELECTRICAL PLAN,<br>ELEVATIONS AND SECTION |
| A3 | GENERAL NOTES                              |

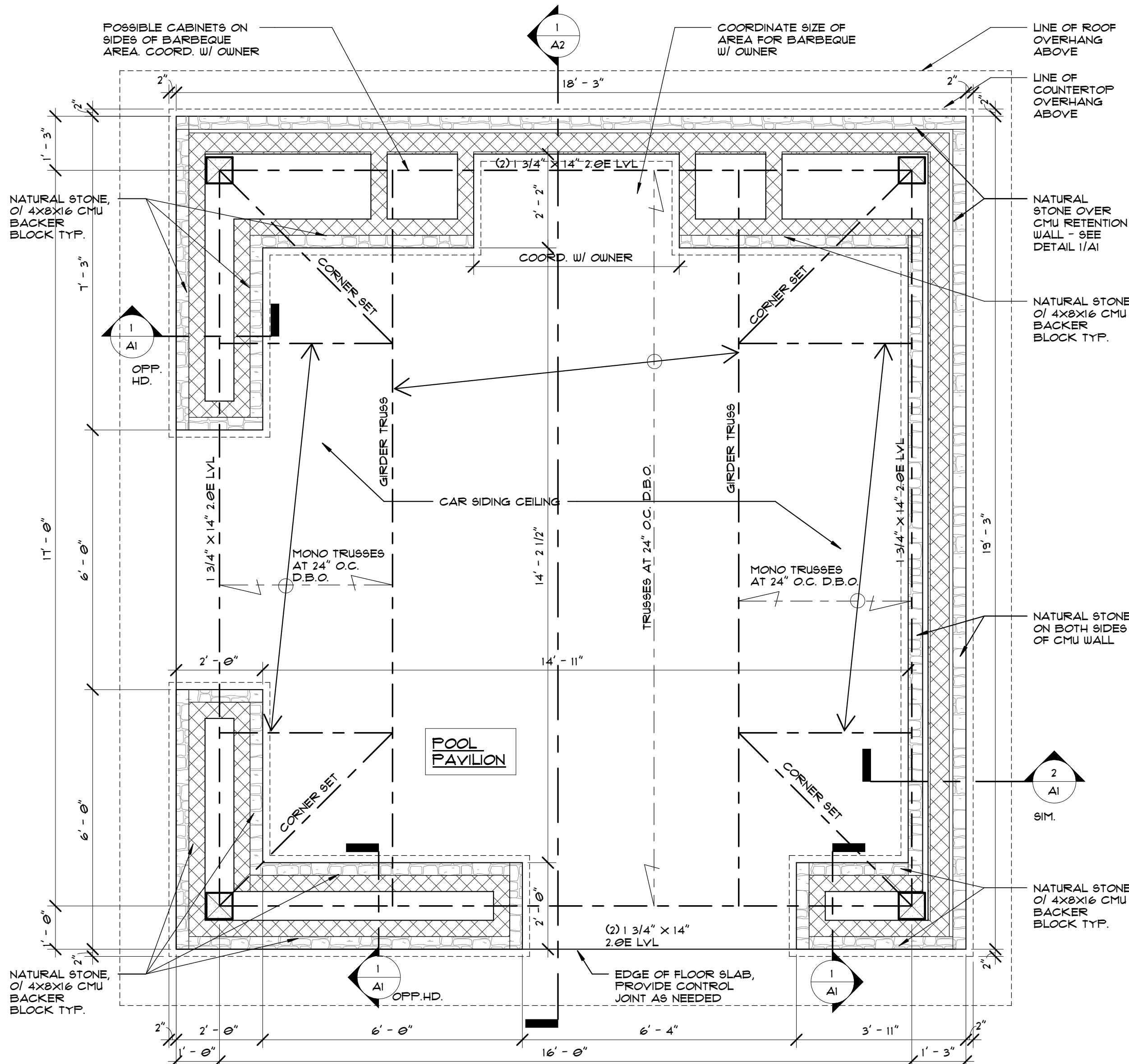
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- ROOF AND ROOF FRAMING NOTES:**
1. ROOF CONSTRUCTION 1/2" PLYWOOD W/MTL PLYCLIPS OVER PREFABRICATED WOOD ROOF TRUSSES. REFER TO TRUSS MFR. DESIGN DRAWINGS FOR FINAL LAYOUT AT FRAME MEMBERS.
  2. ALL ROOF TRUSS FRAMING TO BE SPACED AT 24" O.C. MAXIMUM.
  3. ALL OVERFRAME RAFTERS SHALL BE MIN. 2X6 #2 S.Y.P. AT 24" O.C. MAX. U.N.O.
  4. ALL ROOF RAFTERS SHALL BE 2X8 AT 24" O.C. U.N.O.

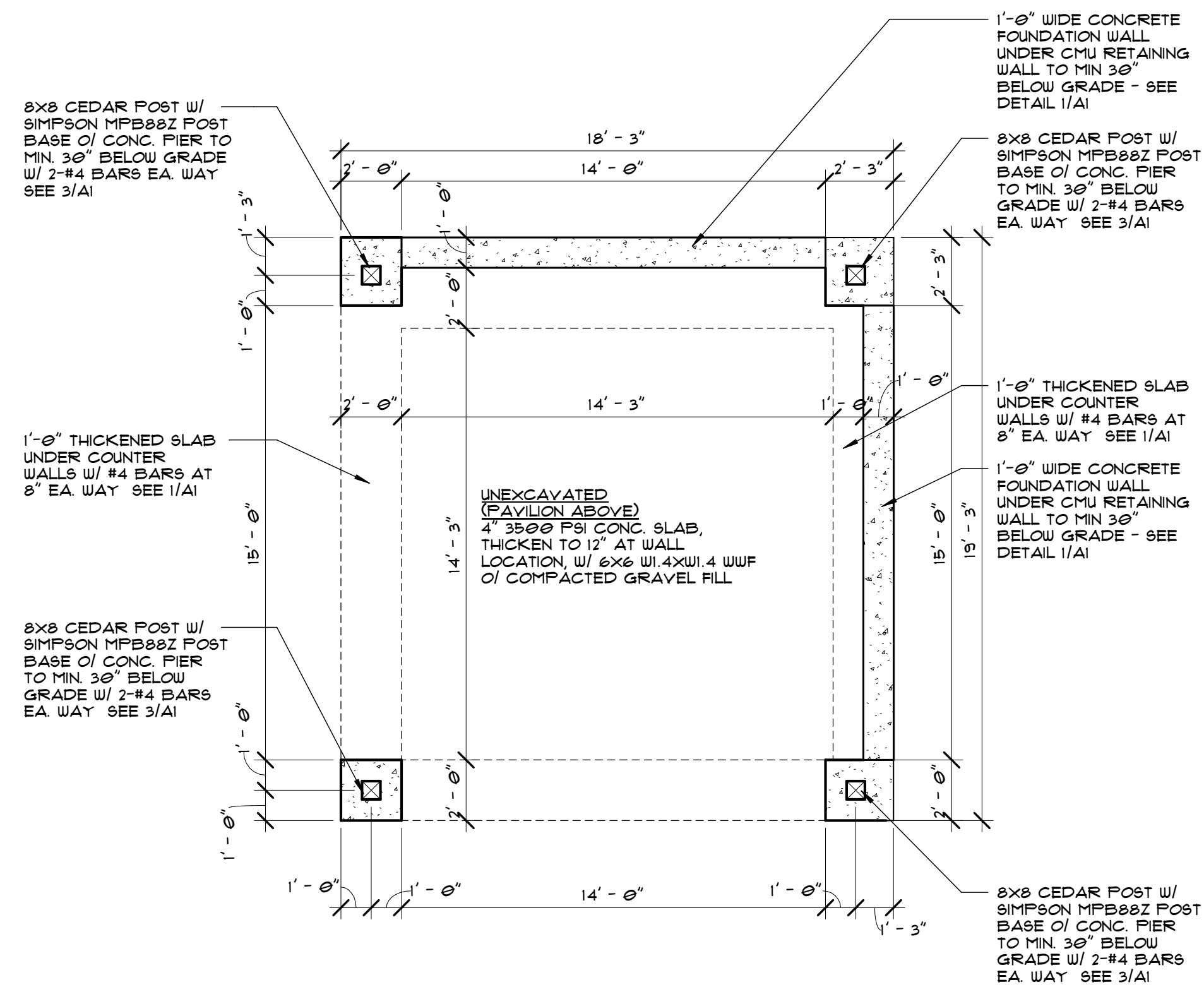


**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

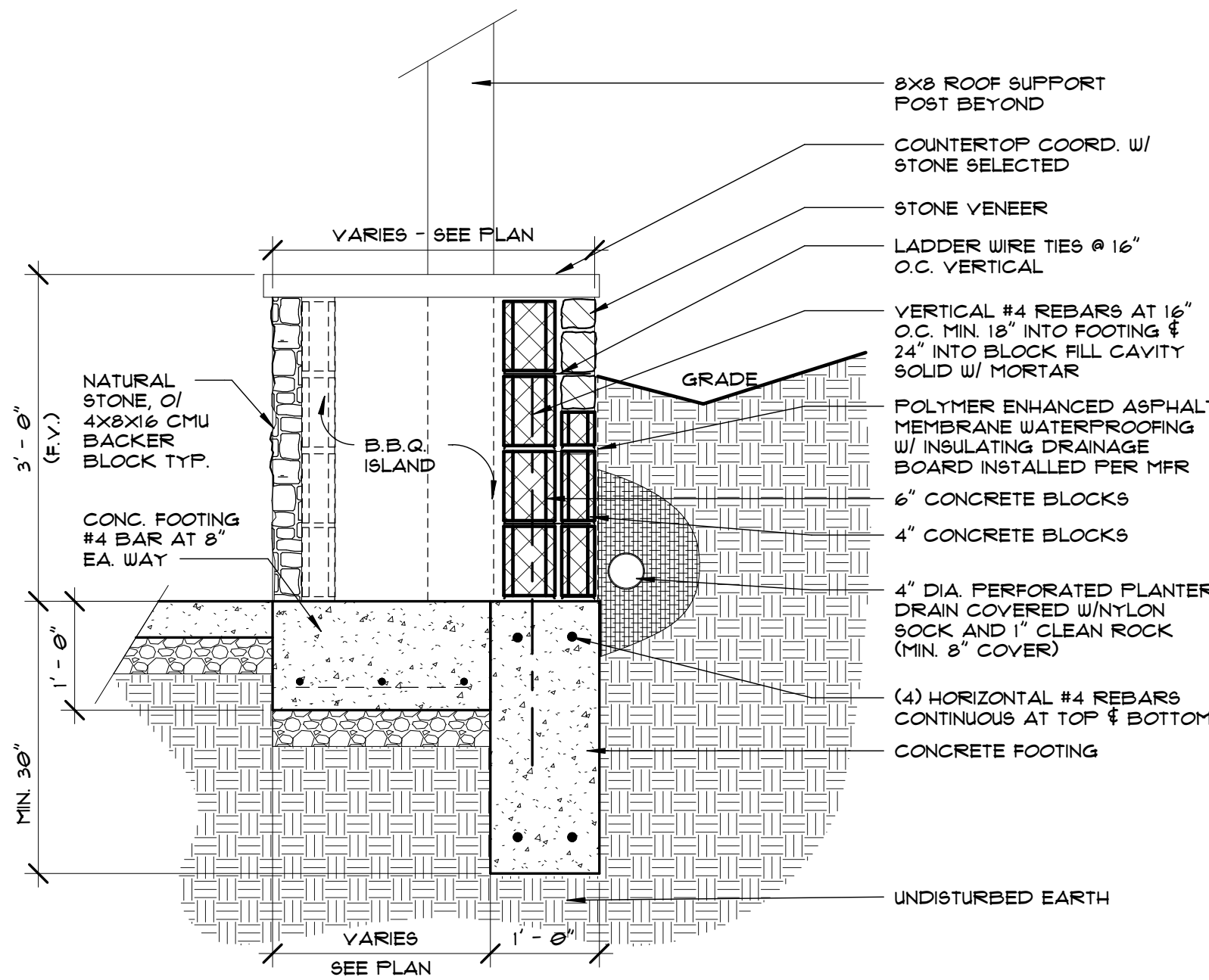


**FLOOR PLAN**  
SCALE: 1/2" = 1'-0"

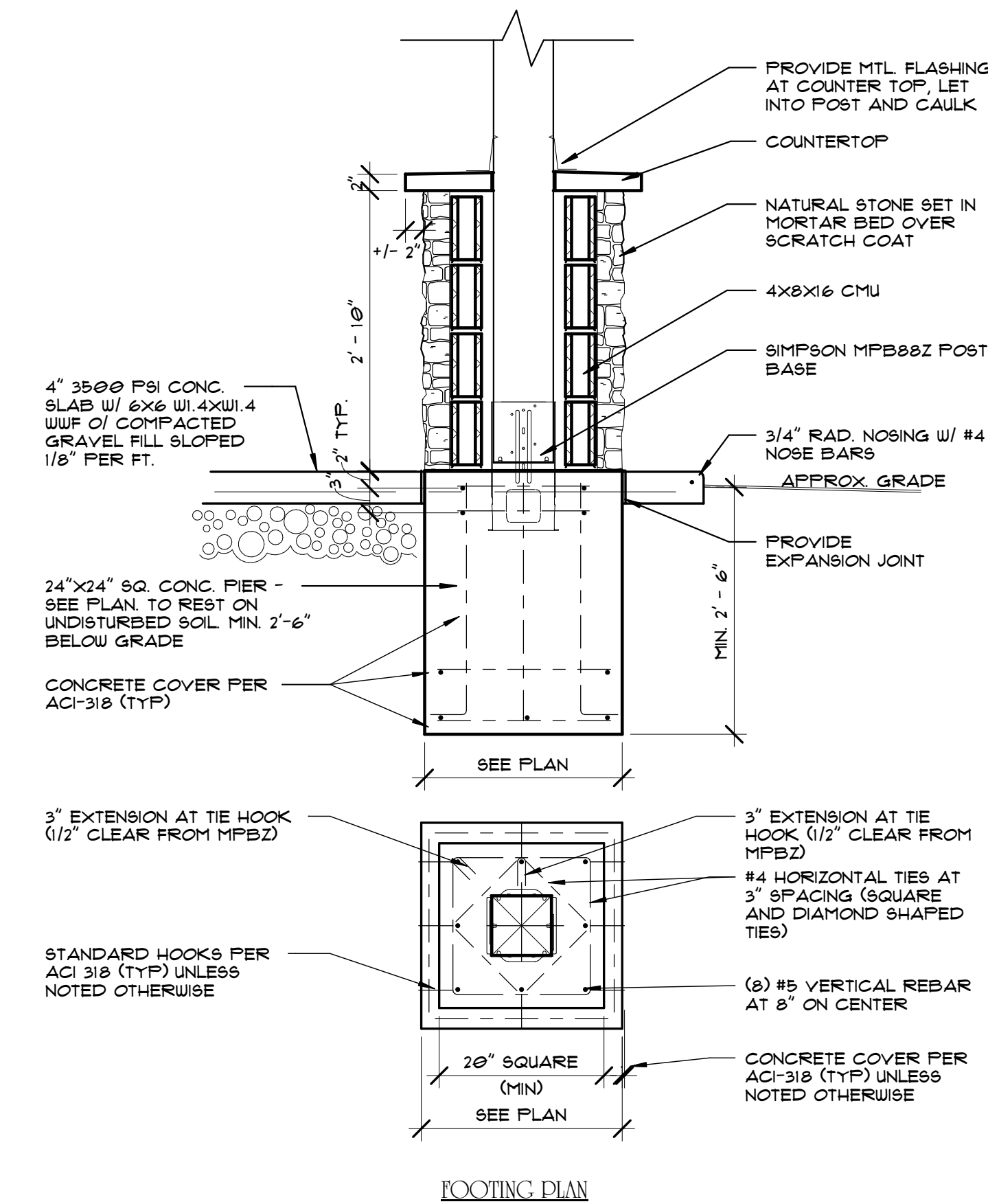
**NOTE:**  
ARCHITECT SUGGESTS OUTDOOR KITCHEN COUNTERTOP HEIGHT TO BE MINIMUM 36". CONTRACTOR IS TO ASSURE FULL COORDINATION OF FINAL COOKING COUNTERTOP WITH PROPRIETARY COOKING APPLIANCES SHOWN IN THESE DOCUMENTS. OUTDOOR KITCHEN STRUCTURAL FOUNDATION AND MASONRY VENEER BACK IS SHOWN FOR DIMENSIONAL AREAS AND EQUIPMENT COORDINATION. FINAL OUTDOOR KITCHEN DESIGN T.B.D. BY OTHERS. COORDINATE ALL COMPONENTS AS REQUIRED.



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

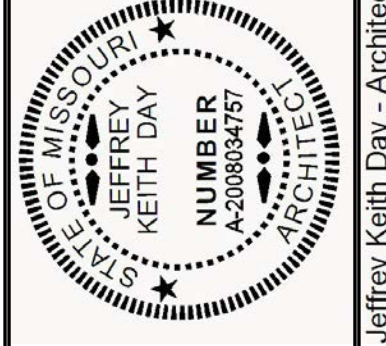


**2 STONE/CMU RETENTION WALL DETAIL**  
SCALE: 3/4" = 1'-0"

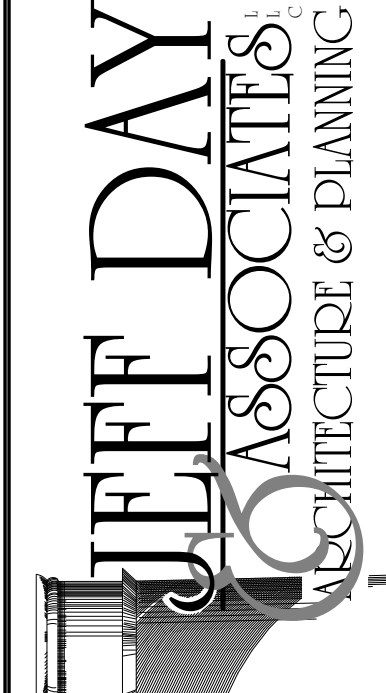


**1 COLUMN BASE w/ MPB88Z REINFORCED CONC. FOOTING**  
SCALE: 3/4" = 1'-0"

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DURING CONSTRUCTION, REAL-WORLD CONDITIONS ARE ALWAYS DISCOVERED THAT DIFFER FROM THE CONSTRUCTION DOCUMENTS, AND WILL REQUIRE COORDINATION AND ADJUSTMENTS IN DIMENSIONS AND THE SCOPE OF WORK. ALL DIMENSIONS SHALL BE CONFIRMED BY THE CONTRACTOR. DISCREPANCIES WITH DIMENSIONS SHOULD BE BROUGHT TO THE ATTENTION OF JEFF DAY & ASSOCIATES TO DISCUSS REMEDIAL ACTION. SUCH CHANGES IN THE SCOPE OF WORK WILL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR.

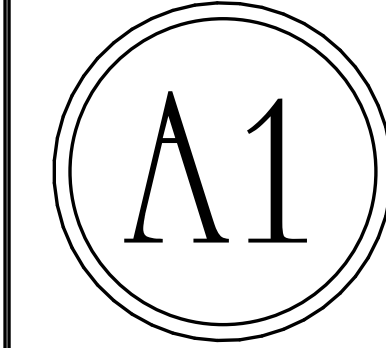


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314.644.2775  
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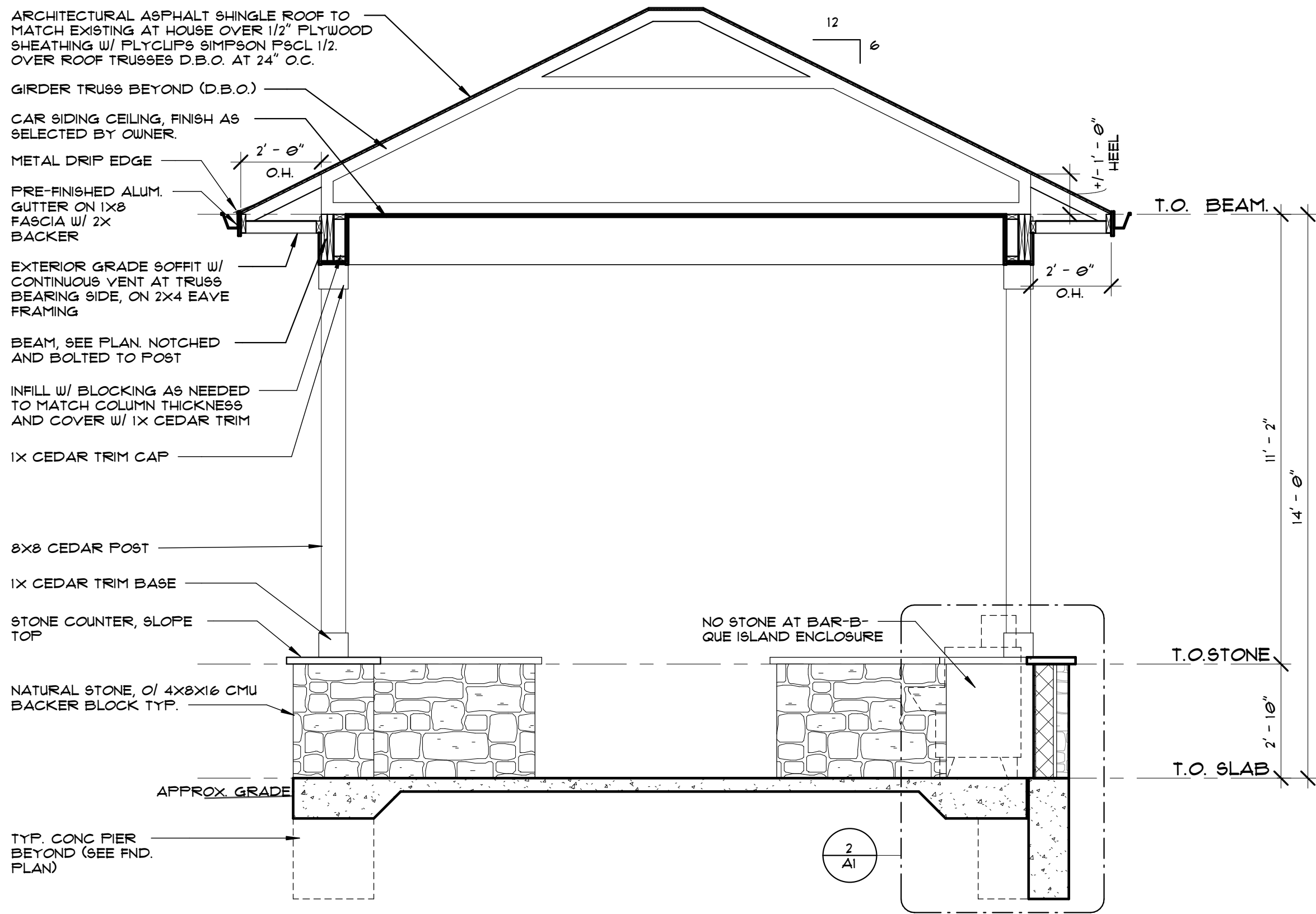
Pool Pavilion for:  
**16 LADUE LN.**  
Ladue, MO 63124

DATE:	07.08.2022
DRAWN BY:	WPD
CHECKED BY:	JKD
REVISED:	
R1	00.00.00
R2	00.00.00
R3	00.00.00

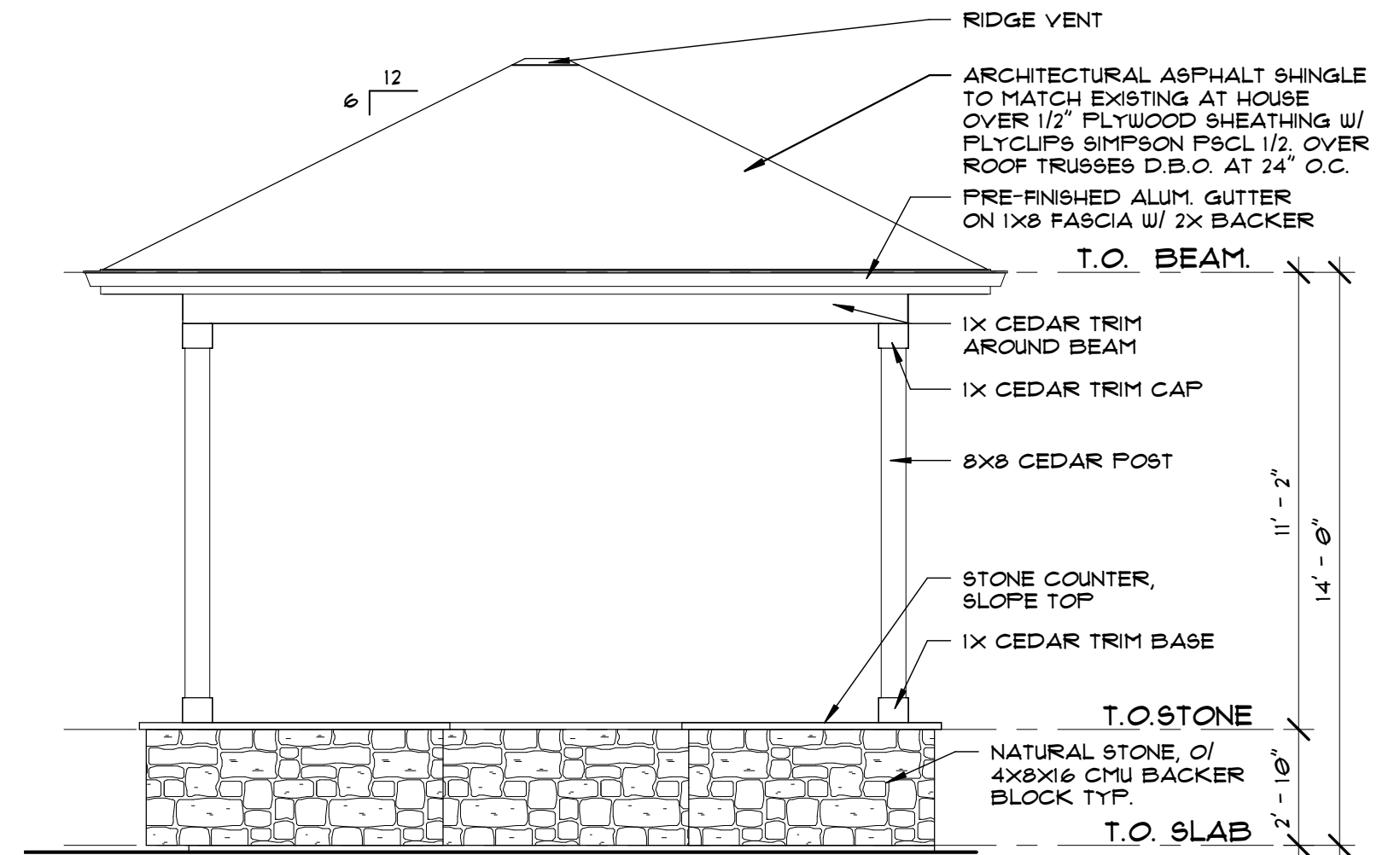


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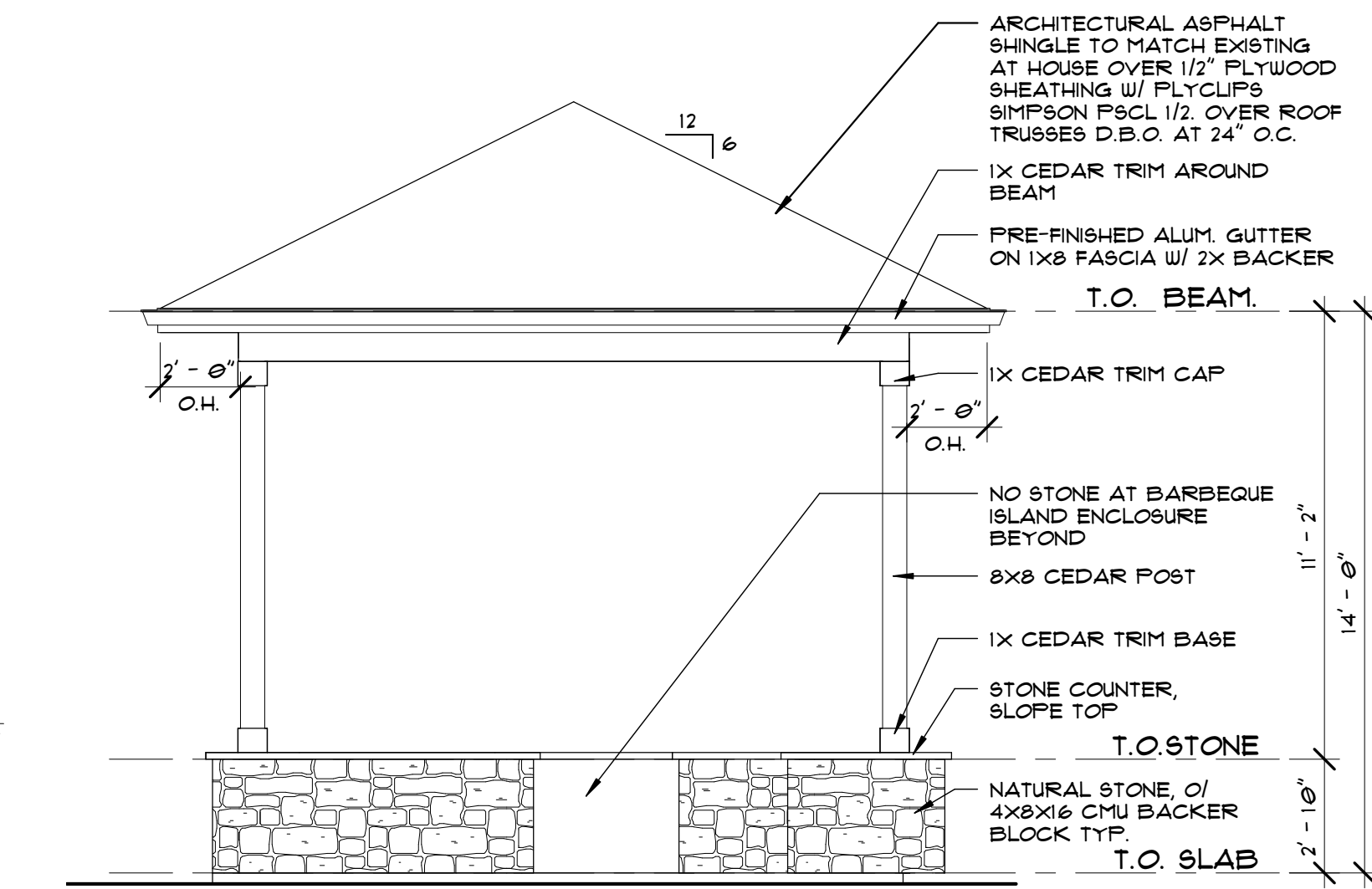




1 LONGITUDINAL SECTION  
SCALE: 3/8" = 1'-0"



LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



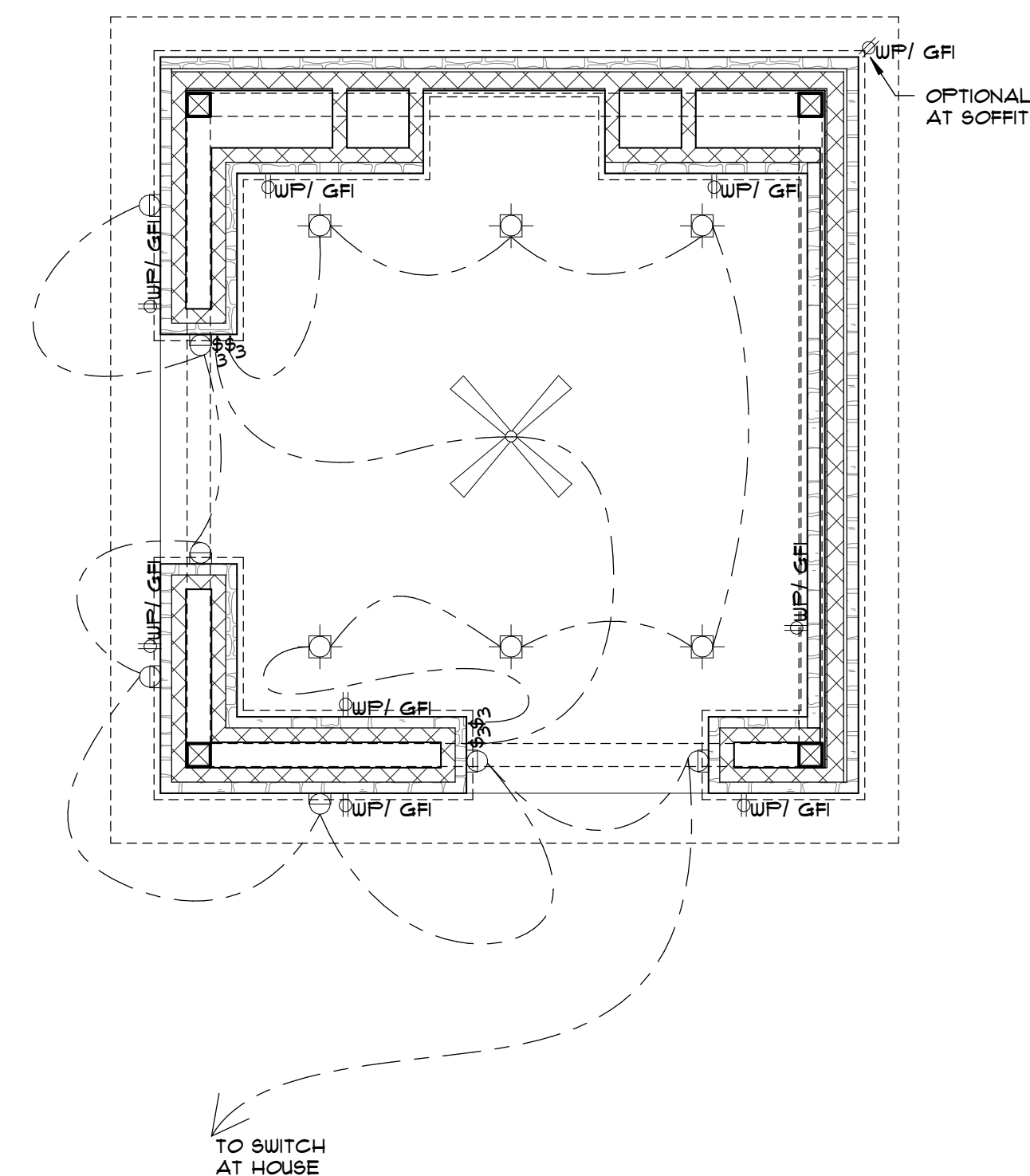
FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

**ELECTRICAL SYMBOLS:**

WATERPROOF DUPLEX GFCI OUTLET WITH COVER FOR EXTERIOR APPLICATION	WUP/ GFI	RECESSED CAN LIGHT LOW IN WALL	⊖
SWITCH SWITCH WITH DIMMER 3 WAY SWITCH	Ⓢ Ⓢ 3	RECESSED CAN LIGHT	⊙
CEILING FAN	⊗		

**ELECTRICAL NOTES:**

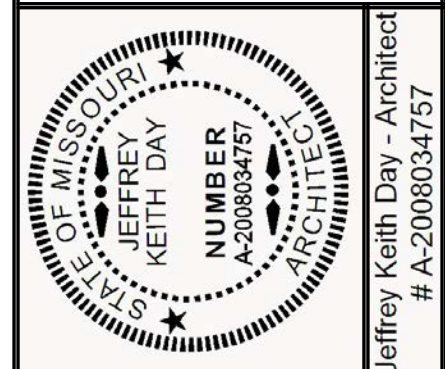
- THE ELECTRICAL LAYOUT SHOWN ON THESE PLANS IS FOR SCHEMATIC PURPOSES ONLY. OWNER SHALL CONFIRM FINAL ELECTRICAL LAYOUT WITH ELECTRICAL SUB-CONTRACTOR.
- AT ALL RECESSED LIGHT FIXTURES IN CEILINGS ADJACENT TO UNCONDITIONED SPACE PROVIDE RATED AIR TIGHT, TYPE IC HOUSINGS.
- PROVIDE PHOTOCELL WITH SWITCH OVERRIDE AT EXTERIOR LIGHTS F.V. LOCATION OF SWITCHES
- OPTION TO HAVE ALL RECESSED LIGHTING FIXTURES ON DIMMER SWITCH (FIELD VERIFY WITH OWNER)



ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"

- ELEVATION DRAWING NOTES:**
- SLOPE GRADE AWAY FROM FOUNDATION MINIMUM 6" IN 10'-0" OR TO SWALE, OR TO A YARD DRAIN. PROVIDE SWALE AT MIDPOINT BETWEEN SIDEYARDS OF ADJACENT PROPERTIES.
  - FIELD VERIFY DOWNSPOUTS TO DRAIN BOOT, OR TO DAYLIGHT ON SITE BY SITE BASIS.
  - FOOTINGS: BOTTOM OF ALL FOOTINGS TO SET ON VIRGIN SOIL AND SHALL BE MINIMUM 30" BELOW GRADE.

IMPORTANT NOTE:  
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ARCHITECTURE & PLANNING

Pool Pavilion for:  
**16 LADUE LN.**  
Ladue, MO 63124

DATE: 07.08.2022  
DRAWN BY: WPD  
CHECKED BY: JKD  
REVISED:  
R1 00.00.00  
R2 00.00.00  
R3 00.00.00

**A2**

Jeff Day & Associates, LLC  
Missouri State  
Certificate of Authority  
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**DIVISION 01: GENERAL REQUIREMENTS**

THE NOTES CONTAINED HEREIN ARE NOT PROJECT SPECIFIC, AND ARE INTENDED TO BE A GUIDE FOR MINIMUM CONSTRUCTION STANDARDS EXPECTED DURING THE CONSTRUCTION OF THIS PROJECT. CONSULT WITH JEFF DAY & ASSOCIATES, LLC IN THE EVENT ALTERNATE CONSTRUCTION METHODS ARE TO BE USED. NOTIFY JEFF DAY ASSOCIATES, LLC IN EVENT OF DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS IN THE DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR IS NOT AUTHORIZED TO SCALE THE DRAWINGS. ALL QUESTIONS IN REFERENCE TO THE CONTRACT DOCUMENTS, EXCLUDING THOSE REGARDING FINISH MATERIALS, SHALL BE IMMEDIATELY DIRECTED TO JEFF DAY & ASSOCIATES, LLC.

CONTRACTOR SHALL BE FAMILIAR WITH STANDARDS SET FORTH IN ALL THE APPLICABLE CODES AND ORDINANCES SET FORTH BY THE LOCAL JURISDICTION FOR RESIDENTIAL CONSTRUCTION.

SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGNER FOR WINDOWS AND EXTERIOR DOORS FOR REVIEW OF SCOPE, SIZE, AND DESIGN.

**DIVISION 02: SITE WORK**

SOILS ENGINEER TO VERIFY SOIL CONDITIONS AND BEARING CAPACITY. SOIL BEARING CAPACITY TO BE MINIMUM 2000 POUNDS / SQ. FT.

FINISH GRADES AT THE BUILDING TO BE A MINIMUM OF 8" BELOW THE TOP OF THE FOUNDATION FOR WOOD FRAME OR WOOD FRAME WITH MASONRY VENEER, AND 6" BELOW FULL MASONRY WALLS. GRADES SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 1" / FOOT FOR A DISTANCE OF 8'-0", OR TO A SWALE.

CONCRETE PIERS AND TO BE 24" INTO VIRGIN SOIL AND A MINIMUM OF 30" BELOW GRADE.

EXCAVATION FOLLOW OSHA RULES FOR EXCAVATIONS. STEP BACK EXCAVATIONS AS REQUIRED.

CONCRETE FOOTINGS TO REST A MINIMUM OF 30" BELOW FINISHED GRADE, AND ON VIRGIN SOIL.

\*LOWEST FLOOR ELEVATION AT LEAST 1'-0 ABOVE THE 100 YEAR FLOOD PLAIN ELEVATION.

\*THE 100 YEAR FLOOR PLAIN ELEVATION, THE FLOOD PLAIN BOUNDRY LOCATION, THE FLOODWAY BOUNDARY AND THE FIRM PANEL AND EDITION.

**DIVISION 03: CONCRETE**

MINIMUM SPECIFIED STRENGTH OF CONCRETE, COMPRESSIVE AT 28 DAYS, PSI:  
BASEMENT WALLS AND FOUNDATIONS: 3,000PSI  
BASEMENT SLABS AND INTERIOR SLABS ON GRADE EXCEPT GARAGE SLABS: 2,500PSI

DRIVEWAYS, CURBS, WALKS, PATIOS, PORCHES, CARPORT SLABS, STEPS AND OTHER FLATWORK EXPOSED TO THE WEATHER, AND GARAGE FLOOR SLABS: 3,500PSI  
CONCRETE FOR ALL BASEMENT WALLS, FOUNDATION WALLS, PORCHES, WALKS, PATIOS, STEPS, GARAGE AND CARPORT FLOOR SLABS, AND DRIVEWAYS SHALL BE AIR-ENTRAINED.

1/2" DIAMETER ANCHOR BOLTS, PLACED A MAXIMUM OF 6'-0" ON CENTER. SET A MINIMUM OF 8" INTO CONCRETE REQUIRED FOR ALL ANCHORING OF SILL PLATES (PROVIDE STAINLESS STEEL BOLTS FOR TREATED SILL PLATES) AROUND ENTIRE FOUNDATION WITH NUTS AND 1-1/2" WASHERS PROVIDED. 2 BOLTS MINIMUM PER BOARD LENGTH. PROVIDE A CODE APPROVED SILL SEALER WITH APPROVED GUMI MATERIALS AND METHODS. PLACE ANCHOR BOLTS IN THE MIDDLE OF 1/3 OF THE PLATE WIDTH.

MINIMUM THICKNESS OF CONCRETE FLOOR SLABS: SUPPORTED DIRECTLY ON THE GROUND SHALL BE 3-1/2", SLABS TO BE USED FOR VEHICLE TRAFFIC SHALL BE MINIMUM 4".

SLOPE EXTERIOR CONCRETE SLABS AT PORCHES AND PATIOS A MINIMUM OF 1/4" PER FOOT AWAY FROM THE BUILDING.

SLOPE GARAGE SLABS MINIMUM 1/8" PER FOOT TOWARD OVERHEAD DOORS. AN APPROVED VAPOR BARRIER OF 6 MIL POLYETHYLENE WITH LAPPED JOINTS OF A MINIMUM OF 6" SHALL BE PLACED BELOW CONCRETE FLOOR SLABS. A MINIMUM 4" THICK DRAINAGE COURSE OF 1" TO 1-1/2" CLEAN CRUSHED LIMESTONE OR RIVER GRAVEL IS REQUIRED UNDER ALL SLABS, AND UNDER BASEMENT FLOOR SLABS IT SHALL PROVIDE CONTINUOUS DRAINAGE TO A SUMP.

PROVIDE AIR ENTRAINMENT IN ALL SLABS EXPOSED TO POSSIBLE FREEZING, INCLUDING BASEMENT SLABS.

REINFORCING STEEL TO BE ASTM A-615, GRADE 60. DEFORMED BARS SHALL CONFORM TO ASTM A-305. ALL REINFORCING STEEL SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE ACI MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE STRUCTURES. LAP BARS AT LEAST 24 BAR DIAMETERS (18" MINIMUM).

PROVIDE CONCRETE COVER FOR REINFORCING STEEL AS FOLLOWS: FOOTINGS - 3", WALLS - 1-1/2", SLABS 3/4", AND PIERS - 2". WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, PLAIN FINISH. PROVIDE FIBER MESH ADDITIVE IN ALL SLABS.

PROVIDE (2) #5 BARS AROUND PERIMETER OF OPENINGS IN FOUNDATION WALLS. EXTEND MINIMUM 24" BEYOND CORNERS.

FOOTING THICKNESS MUST BE INCREASED TO AT LEAST MATCH THE LENGTH OF THE PROJECTION NEEDED FOR THE FOOTING SIZE REQUIRED.

**DIVISION 04: MASONRY**

CONTRACTOR TO TAKE DUE CARE IN INSTALLATION OF BRICK AND OTHER MASONRY COMPONENTS WITH REGARD TO WEATHER PROTECTION, MORTAR TYPE FOR WEATHER AND TEMPERATURE CONDITIONS, ETC.

AT BRICK VENEER TO FRAME WALLS. PROVIDE 22 GAGE GALVANIZED METAL MASONRY WALL TIES AT 16" O.C. VERTICAL, AND 24" O.C. HORIZONTAL. PROVIDE MINIMUM 1" AIR SPACE.

AT BRICK VENEER TO CONCRETE WALLS WHERE BRICK COURSES WILL EXCEED 2 IN HEIGHT, PROVIDE DOVETAIL ANCHOR JOINTS AT 24" O.C. HORIZONTAL. DOVETAIL TIES SHALL BE PROVIDED AT 16" VERTICALLY, AND 24" O.C. HORIZONTALLY.

PROVIDE METAL OR POLY RESIN FLASHING AT THE BASE OF THE WALL IN A MANNER TO DIRECT WATER OUT AND AWAY FROM FRAME MEMBERS.

PROVIDE MINIMUM 3/16" WEEP HOLES AT THE BASE OF THE MASONRY VENEER AT MAXIMUM 32" O.C.

GROUT ALL MASONRY BELOW GRADE SOLID, PROVIDE FLASHING AT WALL ABOVE GROUT.

**ADHERED MASONRY VENEERS**

AT BRICK VENEER TO FRAME WALLS PROVIDE MINIMUM CLEARANCES 4" ABOVE THE EARTH, 2" ABOVE PAVED AREAS, 1/2" ABOVE EXTERIOR WALKING SURFACES SUPPORTED BY THE SAME FOUNDATION AS THE WALL OR PER MANUFACTURER.

PROVIDE MINIMUM 26-GAGE METAL CORROSION-RESISTANT OR 0.015" PLASTIC FLASHING OR SCREED WITH MINIMUM 3-1/2" VERTICAL ATTACHMENT FLANGE THAT EXCEEDS MINIMUM 1" BELOW THE FOUNDATION PLATE.

PROVIDE A WATER RESISTIVE BARRIER LAPPING OVER THE SCREED'S EXTERIOR ATTACHMENT FLANGE OR THE FLASHING.

**DIVISION 05: METALS**

NO METALS USED PER CONTRACT

**DIVISION 06: CARPENTRY**

ALLOWABLE DESIGN VALUES FOR STRUCTURAL WOOD MEMBERS INCLUDING DESIGN STRESSES FOR FLOOR JOISTS AND ROOF RAFTERS SHALL BE AS SPECIFIED IN AF AND PA'S NDS. LUMBER SHALL BE S4S STOCK, THOROUGHLY SEASONED, MOISTURE CONTENT SHALL NOT EXCEED 19 PERCENT.

PROVIDE PRESERVATIVE TREATED LUMBER IN THE FOLLOWING LOCATIONS: ALL SILL PLATES, BLOCKING, PLATES, AND GROUNDS IN CONTACT WITH CONCRETE, MASONRY, OR EARTH.

RE-TREAT CUT ENDS OR HOLES DRILLED IN THE FIELD WITH PRESERVATIVE. TRUSSES TO COMPLY WITH TPI 1-2002.

A MINIMUM 3/12 ROOF SLOPE IS REQUIRED TO USE RAFTERS AND CEILING JOISTS.

CONVENTIONAL ROOF FRAMING AND TRUSS FRAMING ASSEMBLIES PROVIDED SHALL RESIST UPLIFT. RAFTERS AND TRUSSES ARE ALLOWED TO ATTACH TO THEIR SUPPORTING WALL ASSEMBLIES IF THEIR ASSEMBLIES MEET ALL OF THE FOLLOWING:

\*VERIFIED TO HAVE AN UPLIFT FORCE NOT EXCEEDING 200-LBS.

\*\*FRAMING IS SPACED NOT MORE THAN 24" O.C.

\*\*\*THE ROOF OVERHANG DOES NOT PROJECT MORE THAN 24" FROM THE FACE OF THE WALL BELOW IT.

APPROVED ROOF TIE-DOWN ANCHORAGE CLIPS ARE REQUIRED FOR THE FIRST 8'-0" MEASURED FROM THE CORNERS OF GABLE ENDS, TO MEET CAPACITY REQUIREMENTS:

\*ROOF PITCH IS LESS THAN 5:12, AND ROOF SPAN IS MORE THAN 28'-4", OR  
\*\*ROOF PITCH IS 5:12 OR MORE, AND ROOF SPAN IS MORE THAN 33'-3".

TRUSSED ROOFS AND/OR FLOORS SHALL HAVE INDIVIDUAL TRUSS PLANS INDICATING SPACING AND ROOF PITCH FOR EACH SPAN UTILIZED. SHOW TRUSS FRAMING LAYOUT INCLUDING GIRDER LOCATIONS. TRUSSES SHALL BE DESIGNED AND SEALED BY A REGISTERED DESIGN PROFESSIONAL IN THE PROJECT'S STATE WITH REQUIRED LIVE AND DEAD LOAD DESIGN CRITERIA NOTED, REFERENCE TO THE SPECIFIED BUILDING CODE, NFPA, AND TPI 1-2002 AS THE DESIGN STANDARDS.

SPECIFY ALL LINTELS, BEAMS, BEARING WALLS, COLUMNS, TRUSS TO BEARING PLATE CONNECTIONS, TRUSS TO TRUSS CONNECTIONS, ETC. BASED UPON THE TRUSS LAYOUT PLAN. TRUSSES TO BE ANCHORED WITH METAL HURRICANE TIES AS INDICATED BY THE DESIGN PROFESSIONAL, AND PER SPECIFIED BUILDING CODE.

CUTTING, NOTCHING, AND/OR BORING HOLES IN WOOD BEAMS, JOISTS, RAFTERS, OR STUDS SHALL NOT EXCEED THE LIMITATIONS NOTED IN THE PERTINENT SECTIONS OF THE SPECIFIED INTERNATIONAL RESIDENTIAL CODE, AND AS OUTLINED BY THE JOIST OR BEAM MANUFACTURER.

REINFORCEMENT OF STUDS SHALL BE DONE IN ACCORDANCE WITH THE PERTINENT SECTIONS OF THE SPECIFIED BUILDING CODE.

NAILING AND FASTENING OF FLOOR, ROOF/CEILING, WALL AND ROOF SHEATHING, AND GYPSUM CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PERTINENT TABLES OF THE SPECIFIED BUILDING CODE.

NAILING OF BRACED WALL PANELS SHALL CONFORM WITH THE SPECIFIED BUILDING CODE. NAILING OF INTERIOR BRACED WALL LINES CONSTRUCTED WITH PLYWOOD TO BE IN CONFORMANCE WITH THE METHODS OUTLINED IN THE SPECIFIED BUILDING CODE.

ALL EXTERIOR WALL SHEATHING SHALL BE MINIMUM 1/2" O.S.B. OR PLYWOOD.

A MOISTURE PROTECTION OF WATER-RESISTANT SATURATED FELT BUILDING PAPER, MINIMUM OF 14LB/SQ. OR APPROVED POLY BASED HOUSE WRAP IS REQUIRED OVER SHEATHING USED BEHIND MASONRY VENEERS.

ALL HEADERS, JOISTS AND STUDS SHALL BE MIN. #2 SOUTHERN YELLOW PINE.

ALL HEADERS SHALL BE MINIMUM (2) 2X10 UNLESS NOTED OTHERWISE.

ALL WOOD POSTS SHALL BE MINIMUM (2) 2X WALL THICKNESS, UNLESS OTHERWISE NOTED.

TOP AND BOTTOM OF ALL CONVENTIONAL, DOUBLE STUD, AND STAGGERED STUD FRAME WALLS TO BE FIREBLOCKED, AS WELL AS MID HEIGHT OF ALL STUD WALLS 9'-0" IN HEIGHT OR TALLER.

FIREBLOCKING REQUIRED AT ALL SOFFITS AND DROPPED CEILINGS, AND BETWEEN STAIRWAY STRINGERS AT THE TOP AND BOTTOM OF THE RUN.

CEILINGS SUSPENDED BELOW WOOD JOISTS OR ATTACHED DIRECTLY TO WOOD FLOOR TRUSSES SHALL BE DRAFTSTOPPED AT 10000 SQ. FT. INTERVALS AND PARALLEL TO MAIN FRAMING MEMBERS. ACCESS DOORS IN DRAFTSTOPPS SHALL BE SELF CLOSING, AND OF APPROVED MATERIALS.

CEILING HEIGHTS SHALL BE MINIMUM 7'-0" IN HABITABLE SPACES, HALLWAYS AND FINISHED BASEMENTS OF HABITABLE ROOMS. PROVIDE MINIMUM 6'-8" CEILING HEIGHT IN BATHROOMS, LAUNDRY, AND TOILET ROOMS.

**DIVISION 07: THERMAL AND MOISTURE PROTECTION**

ALL ROOFING UNDERLAYMENT TO BE A MINIMUM OF TYPE 1 PER ASTM D226-91A. (NO. 15 ASPHALT FELT) REQUIRED UNDER ALL ASPHALT ROOF SHINGLES.

PROVIDE ICE AND WATER SHIELD (W/ R. GRACE OR EQUAL) UNDER ALL ROOF PITCHES THAT WILL RECEIVE ASPHALT ROOFING.

ASPHALT SHINGLES SHALL NOT BE USED ON ROOFS WITH SLOPES LESS THAN 2:12

PROVIDE MINIMUM 2 LAYERS OF 15# ROOF FELT UNDER ALL METAL AND ASPHALT SHINGLE ROOFS WITH 4:12 PITCH OR LESS.

GUTTERS ARE REQUIRED ON ALL OVERHANGS PROJECTING LESS THAN 3'-0", AND DOWNSPOUTS ARE REQUIRED ON ALL ROOF AREAS, UNLESS NOTED OTHERWISE.

DRIP EDGE IS REQUIRED AT EAVES AND RAKES OF SHINGLE ROOFS. EXTEND DRIP EDGE MINIMUM 2" ONTO ROOF SHEATHING AND MINIMUM 1/4" BELOW ROOF SHEATHING. INSTALL ROOF UNDERLAYMENT OVER THE DRIP EDGE ALONG EAVES AND UNDER THE DRIP EDGE AT RAKES.

DOWNSPOUT DISCHARGE SHALL BE DIRECTED AWAY FROM THE FOUNDATION. SUMP PUMP DISCHARGE AND ROOF DRAINAGE SHALL BE PIPED TO A STORM DRAIN OR TO APPROVED WATER COURSE. DISCHARGING TO OR WITHIN 10 FEET OF A SIDEWALK, DRIVEWAY, STREET, OR IN A MANNER THAT WILL CREATE A NUISANCE TO ADJOINING PROPERTIES IS PROHIBITED.

PROVIDE A DRAIN TILE SYSTEM AROUND THE PERIMETER OF THE OUTSIDE OF THE FOUNDATION. AN APPROVED FILTER MEMBRANE SHALL BE PLACED AROUND THE DRAIN TILE. THE TILE SHALL BE PLACED ON A MINIMUM OF 2" OF GRAVEL AND HAVE A MINIMUM OF 6" OF GRAVEL COVER. PLACE THE DRAIN TILE TO BE A MINIMUM OF 1'-0" BEYOND THE OUTSIDE EDGE OF THE FOOTING AND 6" ABOVE THE TOP OF FOOTING. DRAIN DISCHARGE SHALL BE BY GRAVITY TO A FLOOR SUMP. PROVIDE MINIMUM SUMP OF 15" IN DIAMETER X 18" DEEP WITH A FITTED COVER. SUMP DRAIN DISCHARGE SHALL BE BY GRAVITY TO DAYLIGHT OR A SUMP PUMP SHALL BE PROVIDED. A SUMP PUMP SHALL BE PROVIDED IF THE BASEMENT IS FINISHED OR PARTIALLY FINISHED, OR IF GROUND WATER IS PRESENT.

PROVIDE DRAIN TILE SYSTEM INSIDE AND OUTSIDE OF THE FOUNDATION. IF GROUND WATER IS PRESENT - PROVIDE DAMPPROOFING OF THE FLOOR SLAB OF 6-MIL POLYETHYLENE FILM BELOW THE SLAB, WITH JOINTS LAPPED AND SEALED. THE FOUNDATION SHALL BE DAMPPROOFED WITH A BITUMINOUS MATERIAL PERMITTED FOR WALL DAMPPROOFING OR ANY OF THE APPROVED WATERPROOFING METHODS.

**DIVISION 08: DOORS AND WINDOWS**

NO WINDOWS AND DOORS IN THIS CONTRACT

**DIVISION 09: FINISHES**

NO INTERIOR FINISHES

**DIVISION 10: SPECIALTIES**

NO SPECIALTIES

**DIVISION 11: EQUIPMENT**

NO EQUIPMENT IN THIS CONTRACT

**DIVISION 12: FURNISHINGS**

FURNISHINGS ARE NOT PROVIDED FOR IN THIS CONTRACT.

**DIVISION 13: SPECIAL CONSTRUCTION**

NO SPECIAL CONSTRUCTION IS KNOWN TO OCCUR IN THIS PROJECT.

**DIVISION 14: CONVEYING SYSTEMS**

NO CONVEYING SYSTEMS WILL BE INSTALLED IN THIS PROJECT.

**DIVISION 15: MECHANICAL AND PLUMBING SYSTEMS**

SUPPORT OUTDOOR FUEL-BURNING EQUIPMENT AND APPLIANCES ON A LEVEL CONCRETE SLAB OR ON OTHER APPROVED MATERIAL THAT IS 2" MINIMUM ABOVE ADJONING GRADE. COOKING APPLIANCES SHALL BE LISTED AND LABELED FOR HOUSEHOLD USE.

**DIVISION 16: ELECTRICAL SYSTEM**

ALL WIRE AND CABLE SHALL BE COPPER INCLUDING SERVICE TO SUB-PANELS. ALL WIRE SHALL BE RUN CONCEALED, AND SHALL RUN TO CLEAR ALL OPENINGS. PROVIDE WIRING IN GALVANIZED CONDUIT ON WALLS IN EXPOSED AREAS (BASEMENT FOUNDATION WALLS, ETC.).

ELECTRICAL PANELS SHALL NOT BE INSTALLED IN BATHROOMS OR CLOTHES CLOSETS. LIGHTING IS REQUIRED IN THE VICINITY OF THE ELECTRICAL PANEL. ELECTRICAL PANELS IN NEW CONSTRUCTION SHALL NOT BE INSTALLED IN AREAS WITH LESS THAN 6'-6" HEADROOM. A MINIMUM OF 3'-0" CLEARANCE IS REQUIRED IN FRONT OF ELECTRICAL PANELS.

INSTALL THE ENERGY CONSERVATION CERTIFICATE AS REFERENCED BY SECTION N1101.14 OF THE IRC. CERTIFICATE MUST BE PERMANENTLY PLACED ADJACENT TO THE ELECTRICAL PANEL AND SHALL IDENTIFY ALL PREDOMINANT R VALUES AND DESIGN CRITERIA AS WELL AS THE EFFICIENCY RATINGS FOR ALL INITIALLY INSTALLED EQUIPMENT.

PROVIDE LIGHTING IN THE FOLLOWING AREAS: MINIMUM 1 WALL SWITCHED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOM, HALLWAY, ATTACHED GARAGE AND AT EXTERIOR DOORS. OCCUPANCY SENSORS MAY BE USED IN ADDITION TO A WALL SWITCH OR BE EQUIPPED WITH A MANUAL OVERRIDE AND BE LOCATED AT THE CUSTOMARY WALL SWITCH LOCATION.

GROUND FAULT CIRCUIT-INTERRUPTION PROTECTION SHALL BE PROVIDED FOR ALL 125 VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED IN THE FOLLOWING LOCATIONS:

- 1) KITCHENS AT COUNTER TOPS, EXCLUDING OUTLET DEDICATED TO REFRIGERATOR OR FREEZER.
- 2) ALL GARAGES EXCEPT CEILING MOUNTED RECEPTACLES FOR GARAGE DOOR OPENERS.
- 3) OUTDOOR LOCATIONS, INCLUDING WATERPROOF JUNCTION BOX.
- 4) UNFINISHED BASEMENTS AND CRAWL SPACES EXCEPT FOR LAUNDRY CIRCUIT AND SINGLE RECEPTACLE DEDICATED TO SUMP PUMPS.
- 5) RECEPTACLES INTENDED TO SERVE COUNTER TOP SURFACES, AND RECEPTACLES INTENDED TO SERVE THE COUNTER TOP SURFACES OF A WET BAR THAT ARE LOCATED WITHIN 6'-0" OF THE OUTSIDE EDGE OF THE WET BAR SINK.
- 6) BATHROOMS.

KITCHEN AND DINING AREA COUNTER TOP RECEPTACLES SHALL BE SUPPLIED BY AT LEAST 2 DIFFERENT CIRCUITS. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE COUNTER TOP IS MORE THAN 7'-0" FROM A RECEPTACLE. ALL COUNTER TOP AREAS 1'-0" WIDE OR GREATER SEPARATED BY SINKS, RANGES, OR REFRIGERATORS SHALL BE PROVIDED WITH RECEPTACLES. RECEPTACLES INSTALLED FACE-UP IN COUNTER WORK SURFACES ARE PROHIBITED. AT LEAST ONE RECEPTACLE SHALL BE INSTALLED TO SERVE EACH ISLAND OR PENINSULA COUNTER SPACE THAT IS 2'-0" X 1'-0" OR GREATER.

HANGING FIXTURES, TRACK LIGHTING AND CEILING FANS SHALL NOT BE INSTALLED WITHIN 3'-0" HORIZONTALLY OF A BATHTUB, MEASURED FROM THE OUTSIDE EDGE OF THE TUB AND 8'-0" VERTICALLY FROM THE TOP OF THE TUB RIM. RECEPTACLES SHALL NOT BE INSTALLED WITHIN A BATHTUB OR SHOWER SPACE.

ALL RECEPTACLES PROVIDED IN BEDROOMS SHALL BE ARC-FAULT INTERRUPT.

ALL RECEPTACLES LOCATED IN FIREWALLS SHALL BE MINIMUM 2'-0" AWAY FROM ANY ADJACENT JUNCTION BOX FOR OUTLETS, SWITCHES, OR LIGHTS. PROVIDE EXPANDING PUTTY WRAP AS REQUIRED BY 3M OR EQUAL.

IF THE UNDERGROUND METAL WATER PIPE IS USED AS THE GROUNDING ELECTRODE, THE CONNECTION MUST BE MADE TO THE PIPE WITHIN 5'-0" OF THE POINT OF ENTRANCE TO THE BUILDING. A SUPPLEMENTAL GROUNDING ELECTRODE SHALL BE PROVIDED AS SPECIFIED IN NEC SECTIONS 250-81 OR 250-83.

ELECTRICAL IN WALL SHALL COMPLY WITH NFPA 70. PROVIDE ONLY MEMBRANE PENETRATIONS THAT ARE APPROVED RATED.

IMPORTANT NOTE:

DURING CONSTRUCTION, REAL-WORLD CONDITIONS ARE ALWAYS DISCOVERED THAT DIFFER FROM THE CONSTRUCTION DOCUMENTS, AND WILL REQUIRE COORDINATION AND ADJUSTMENTS IN DIMENSIONS AND THE SCOPE OF WORK. ALL DIMENSIONS SHALL BE CONFIRMED BY THE CONTRACTOR. DISCREPANCIES WITH DIMENSIONS SHOULD BE BROUGHT TO THE ATTENTION OF JEFF DAY & ASSOCIATES TO DISCUSS REMEDIAL ACTION. SUCH CHANGES IN THE SCOPE OF WORK WILL BE THE RESPONSIBILITY OF THE OWNED AND/OR CONTRACTOR.



14311 Manchester Rd.  
St. Louis, MO. 63011  
314.644.2775  
www.jeffdayllc.com



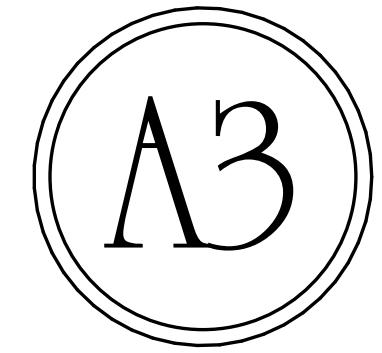
Pool Pavilion for:  
**16 LADUE LN.**  
Ladue, MO 63124

DATE: 07.08.2022

DRAWN BY: WPD

CHECKED BY: JKD

REVISED:  
R1 00.00.00  
R2 00.00.00  
R3 00.00.00



Jeff Day & Associates, LLC  
Missouri State  
Certificate of Authority  
# A-2009027415

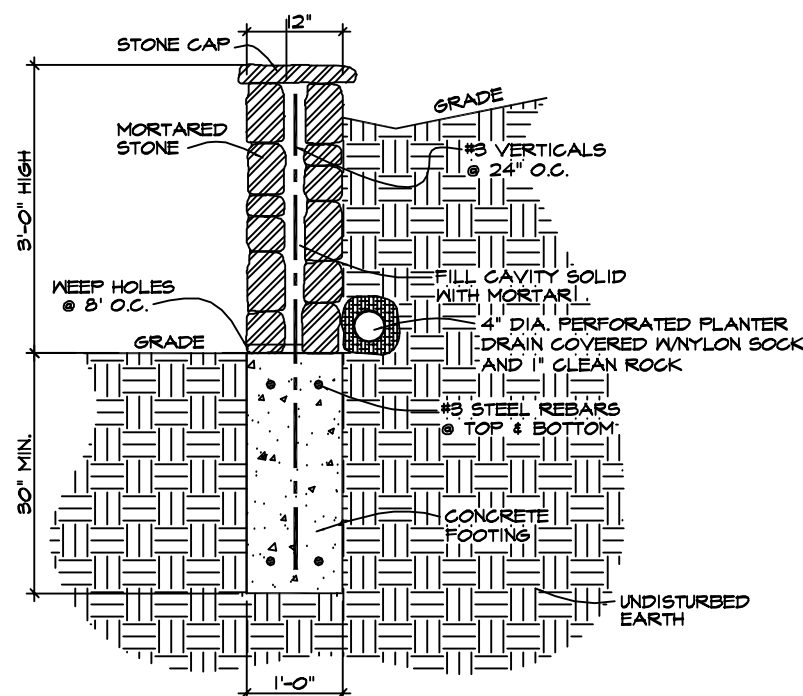


625.6.3 DRAINING AND DISCHARGE: Swimming pool drains and overflow drains can be connected to a storm sewer or discharged to a natural watercourse. Such "clean" waters shall not be discharged to the sanitary sewer system. Any liquid waste generated from cleaning pools shall be prevented by appropriate means from being discharged to the storm sewer or a natural watercourse. Swimming pool filter backwash waters shall be discharged to a sanitary sewer system because of the pollutants contained in such water. Care must be taken to ensure that the rate of backwash does not exceed the hydraulic capacity of the sanitary sewer and thus create backup problems for downstream users of the system.

TEMPORARY BARRIERS AROUND EXCAVATION FOR PRIVATE IN-GROUND POOLS: In accordance with the provisions of Section 105.6 of the St. Louis County Building Code, and in the interest of the public's health, safety, and welfare, a temporary fence shall be constructed around excavations for private in-ground swimming pools. This barrier must remain in place once excavation begins, and until an approved permanent barrier is installed. Both the temporary and permanent barriers must comply with Section R326 of the 2015 International Residential Code

#### NOTE:

9. WHERE THE WALL OF A DWELLING SERVES AS PART OF THE BARRIER, ONE OF THE FOLLOWING CONDITIONS SHALL BE MET:
  - 9.1. THE POOL SHALL BE EQUIPPED WITH A POWERED SAFETY COVER IN COMPLIANCE WITH ASTM F1346; OR
  - 9.2. PER 2015 ISFSC, SECTION 305.4, ALL DOORS, AND OPERABLE WINDOWS WITH SILL HEIGHT LESS THAN 48" A.F.F., AND WITH DIRECT ACCESS TO THE POOL THROUGH THAT WALL SHALL BE EQUIPPED WITH AN ALARM WHICH PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND IT'S SCREEN, IF PRESENT, AND/OR WINDOW(S), ARE OPENED. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS IMMEDIATELY AFTER THE DOOR OR WINDOW IS OPENED AND BE CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES. THE ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS. THE ALARM SYSTEM SHALL BE EQUIPPED WITH A MANUAL MEANS, SUCH AS TOUCHPAD OR SWITCH, TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. SUCH DEACTIVATION SHALL LAST FOR NOT MORE THAN 15 SECONDS. THE DEACTIVATION SWITCH(ES) SHALL BE LOCATED AT LEAST 54 INCHES (1371 MM) ABOVE THE THRESHOLD OF THE DOOR; OR
  - 9.3. OTHER MEANS OF PROTECTION, SUCH AS SELF-CLOSING DOORS WITH SELF-LATCHING DEVICES, WHICH ARE APPROVED BY THE GOVERNING BODY, SHALL BE ACCEPTABLE SO LONG AS THE DEGREE OF PROTECTION AFFORDED IS NOT LESS THAN THE PROTECTION AFFORDED BY ITEMS 9.1 OR 9.2 DESCRIBED ABOVE.



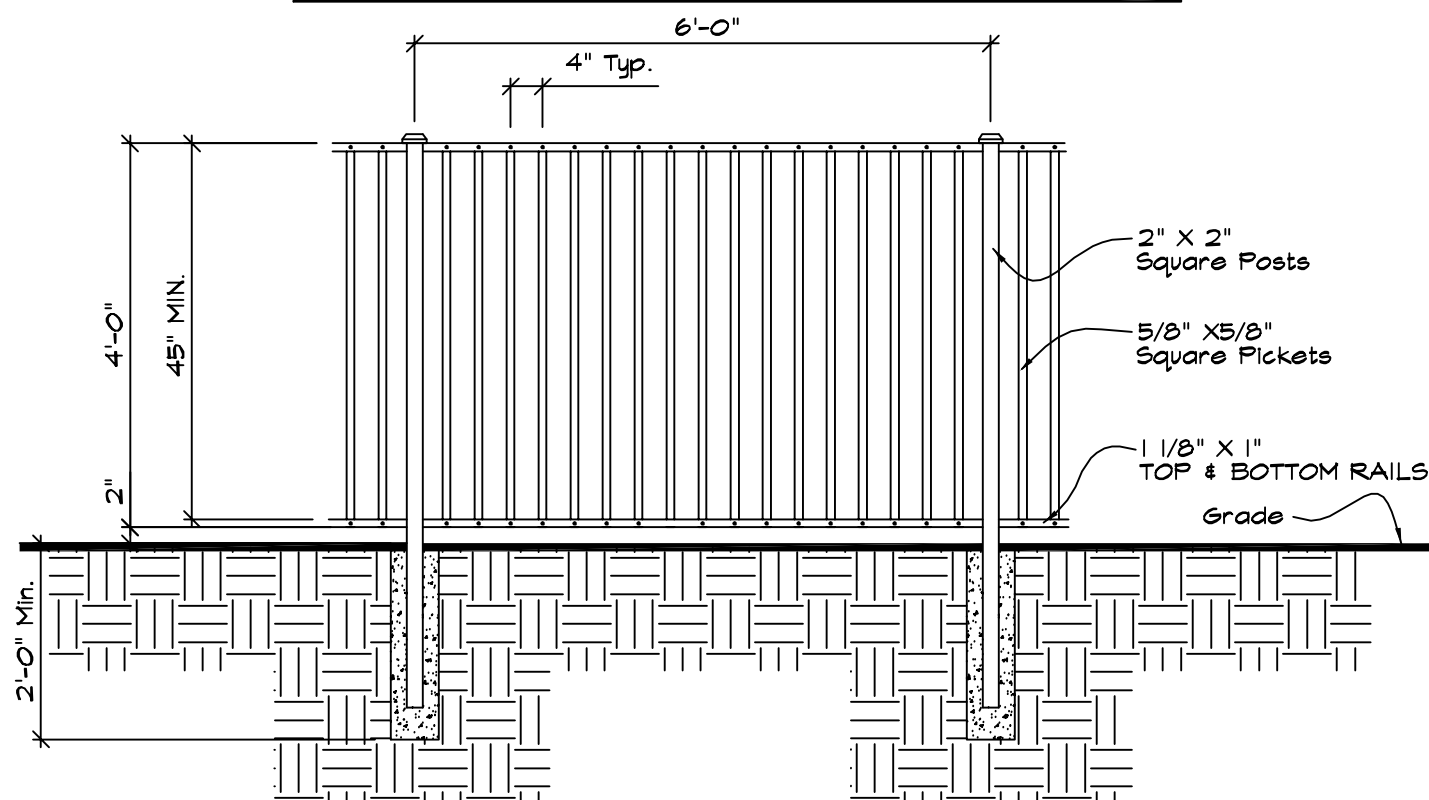
MORTARED  
NATURAL STONE  
WALL DETAIL  
SCALE: 1/2" = 1'-0"

#### REAR YARD IMPERVIOUS AREA CALCULATION

Rear Yard Area = 18,684 Sq. Ft.

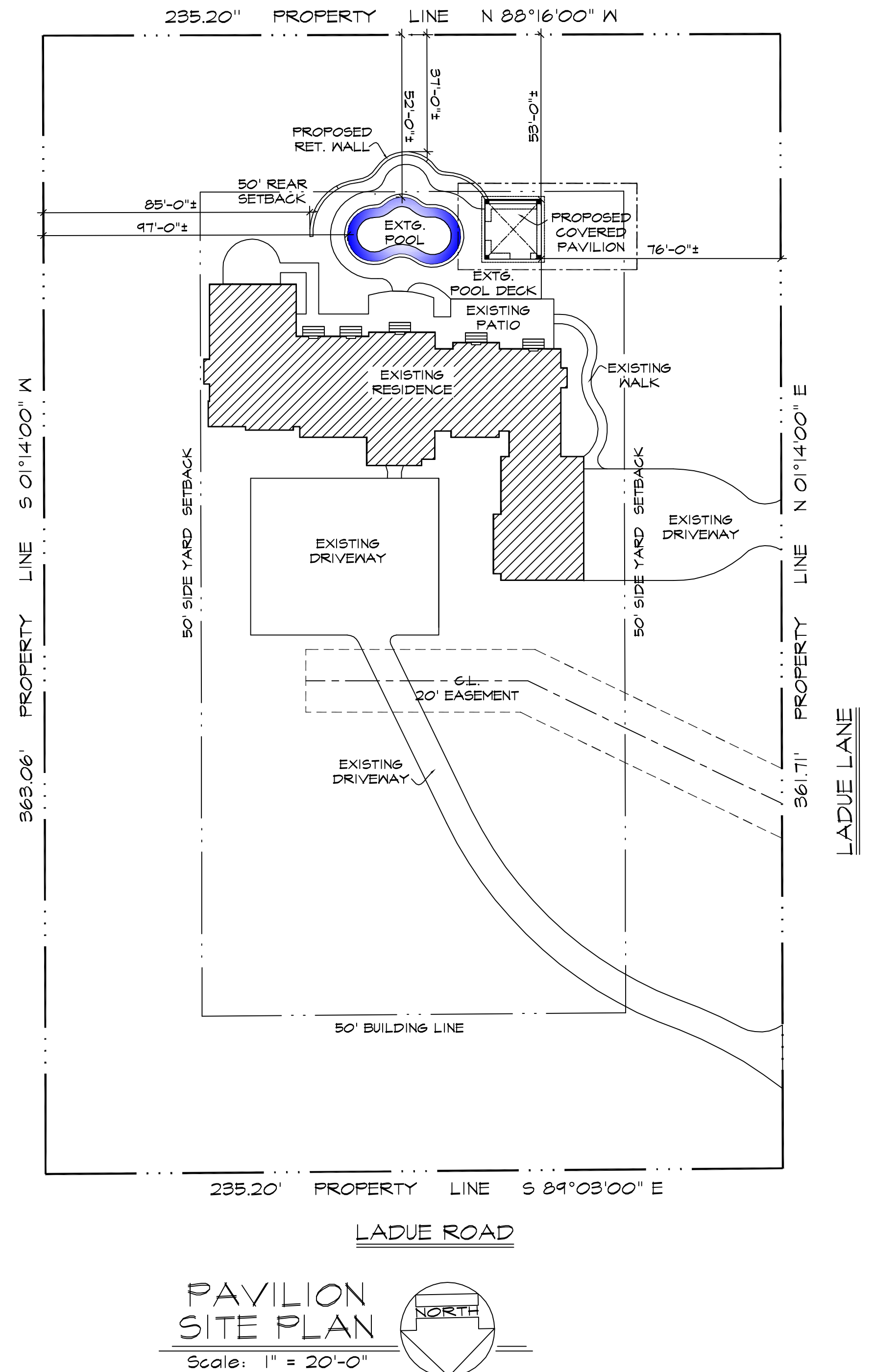
Existing Patio/Walk	-----	279 Sq. Ft.
Proposed Pool & Coping	----	670 Sq. Ft.
Proposed Pool Deck	----	891 Sq. Ft.
Proposed Cov. Patio	----	342 Sq. Ft.
Total Impervious Area	----	2,182 Sq. Ft.

Rear Yard Impervious Area = 11.67%  
Rear Yard Impervious Allowed = 30%



EXISTING  
CODE COMPLIANT FENCE  
Scale: 1/2" = 1'-0"

ENCLOSURE: The entire pool area shall be enclosed. Fence shall be at least 48" above the finished ground level. Access gates will comply with Section R326 of the 2015 I.R.C. and Section 305.3 of the 2015 I.S.P.S.C. and shall be equipped to accommodate a locking device. All access gate(s) shall open outwards and will be self closing and have a self latching device.



DATE	4/15/22	Owner	KEVEN BECKMANN
JOB No.		Address	16 LADUE LANE
		City	LADUE, MO
		Lot #	Subdivision LADUE LANE

**POOL  
IRON** INC.

10403 TRENTON AVE.  
OVERLAND, MO 63132  
(314) 428-1971

Drawn By	K. ANDLEY	Owners Approval
Checked By	K. KOZLEN	Trustees Approval
Salesman	D. SANSONE	Permit No.

Revisions
Rev.1-
Rev.2-
Rev.3-











